

April 21, 2015

Ms. Crystal Wilson  
City of Detroit  
Historic District Commission  
Coleman A. Young Municipal Center  
2 Woodward Avenue, Suite 808  
Detroit, Michigan 48226

RE: Eddystone Hotel – Request for Rehabilitation Concept Approval  
100 Sproat Street, at the northwest corner of Sproat and Park Avenue

Dear Ms. Wilson:

Euclid Enterprises, LLC, an Ilitch-affiliated company and the owner of the Eddystone Hotel building (Owner), requests that the Historic District Commission grant concept approval for the proposed rehabilitation of the building's façade in conjunction with its redevelopment as a mixed-use project that includes ground floor retail and approximately 88 one and two-bedroom apartments on floors 2-13, with 20 percent of the units reserved as affordable housing. The proposed floor plans for the renovated building are attached as Exhibit A. Following concept approval, the Owner intends to proceed with the detailed planning and design work required for a certificate of appropriateness for the exterior work.

The following describes the building's history, its existing condition, and the proposed exterior work, which includes: complete masonry restoration, complete window replacement, storefront replacement, and roof restoration work. This work is planned to coincide with development of the adjacent Detroit Events Center. Per agreements with the City of Detroit and the City of Detroit Downtown Development Authority, the redevelopment work will be completed within one year of the issuance of a temporary or permanent certificate for occupancy of the Detroit Events Center.

#### Background

The building is a 13-story steel-frame brick, limestone and terra-cotta-clad structure. The hotel's overall footprint is rectangular, measuring 62 feet on Park Avenue and 105 feet on Sproat Street. The building's exterior design is in the Italian Renaissance style with a two-story base finished in large rusticated blocks of limestone and displaying tall arched openings, a more plain central section above the base, and a highly finished top or attic crowned by an elaborate entablature and cornice. The two primary decorative facades face south on Sproat Street and east on Park Avenue. The west facing façade has some decorative elements and adjoins an alley. The north facing façade has no decorative elements and adjoins vacant land.

The building was built in 1924 by Lew W. Tuller (1869-1957), and designed by Louis Kamper (1861-1953). The hotel was constructed with 156 rooms, a restaurant and shops on the first floor. In 1928, four years after it was built, Tuller lost the hotel to foreclosure. In that same year Security Trust sold the Eddystone to hotelier David P. Katz. Katz owned the building until 1966. It was operated as a transient hotel up until the late 1990s when it was closed. Euclid Enterprises acquired the building from Eddystone Development, LLC in 2010.

The building is listed on the National Register of Historic Places and sits within a single building, local historic district.

#### Masonry Restoration

The primary decorative facades (south and east facing) are composed of a rusticated limestone base, buff color face brick on the majority of the façade, and decorative terra cotta detailing at floor 3, floor 12, and at the cornice. The limestone base is generally in good condition with significant graffiti, minor atmospheric staining, and minimal surface spalling. Face brick on the two primary facades is generally in good condition, with focused areas of damage at the building corners and at the ledge angles at each floor line. The terra cotta detailing is in varying condition, with some areas of significant damage.

The Owner proposes to fully rehabilitate all areas of damaged masonry. All sound existing materials will be cleaned using the gentlest means possible, and in accordance with the National Park Service preservation brief guidelines. Missing or damaged bricks will be replaced in kind. New mortar will match the existing in color, texture, strength, and



material composition. Damaged limestone will be repaired with suitable patching materials to match the color and texture of the existing limestone. Terra cotta detailing will be retained where possible, and repaired with suitable patching materials to match the color and texture of the existing terra cotta. Where terra cotta is too damaged to repair, replacement materials will be fabricated from glass reinforced fiberglass panels that replicate the historic profiles and color. The proposed scope of façade work is shown on Exhibit B.

This scope of work meets Secretary of Interior Standards for Rehabilitation #6: *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence, and Standard #7: Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

#### Window Replacement

Historically, the windows on the building were one-over-one double-hung wood windows at floors 2-13. The windows on floors 2 and 3 of the building have been completely removed and blocked in with concrete masonry units (CMU) for security reasons. On floors 4-13, portions of the original wood windows still exist, but are in very poor condition with either one or both wood sashes missing completely from the frames at almost every window opening. The sashes that remain are in very poor condition with a significant amount of separation at the sash components. Due to the significant water damage to the building, the frames are also in very poor condition with much evidence of rot, especially at the sills. (See Exhibit C, Window Condition Survey)

The Owner proposes to replace all windows with historic replica aluminum windows in accordance with *NPS Preservation Brief 9 – Window Replacement Guidelines*. In circumstances such as exist here, Brief 9 permits replacement windows if they match (i) the appearance, size, design, proportions, profiles, and sightlines of the existing historic windows, (ii) the existing window position in the wall, and (iii) the dimensions of the individual elements including head, sill, panes, jambs, sash, and overall depth. A Traco TR-9700 or approved historic replica alternate from another manufacturer will be used here, with custom profiles created where necessary to replicate the historic profiles to within a ¼" tolerance of the historic windows. The window finish will complement the historic character of the building, and will be an anodized medium bronze finish or a similar painted color. Glazing will be clear glass with an applied low-e coating for maximum visible light transmittance. Final details of the proposed windows and window finishes will be provided to HDC for final approval when available from the manufacturer.

This proposed scope of work meets the *Secretary of Interior Standards for Rehabilitation #6* as referenced above and should be approved.

#### Storefront Replacement

All of the original storefront assemblies have been removed from the building and replaced with CMU infill for security purposes. The Owner proposes to remove the CMU infill and install new storefront assemblies. Historic photos of the building have been used to establish a compatible design for the new storefront assemblies as indicated in the attached drawings. Historic photos showing previous storefront design are attached as Exhibit D.

The new storefront assemblies will be aluminum-framed with insulated glazing. Storefront framing will be minimized so as to maintain the maximum area of glass that is feasible given material constraints. Historic transom configurations will be simulated with aluminum storefront frames at the rectilinear transom openings and aluminum windows at the curved transoms. Historic divided lights at the storefront and associated transoms will be simulated using applied decorative aluminum muntin grids on both sides of the glass as well as an integral spacer within the insulated glazing unit. The finish of the storefront frames will complement the historic character of the building, and will have an anodized medium bronze finish or a similar painted color to match the aluminum windows on the rest of the building. Glazing will be clear glass without any applied low-e coatings to maintain as much clarity as possible into the retail spaces. Final details of the proposed storefront will be provided to HDC for final approval when available from the manufacturer.

This proposed scope of work meets the *Secretary of Interior Standards for Rehabilitation #9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

#### Rooftop Scope of Work



The roof is largely open, with a small parapet around all four sides, a large central masonry penthouse over the elevators, and a small masonry penthouse at the top of the mechanical shaft at the northwest corner of the building. The parapet is in fair condition with some missing clay tile coping, and various roofing materials applied to its inner face. The penthouses are in poor condition, with much masonry restoration required.

The roofing material is built-up asphalt membranes in fair condition and in need of replacement. As such, the entire roof will be stripped of all existing roofing materials and replaced with new insulation and a single-ply roof membrane per Michigan energy code.

The small mechanical penthouse is in very poor condition with significant risk of falling masonry units. It is located at the rear corner of the building, and is not visible from either primary façade. The mechanical shaft was likely used as the original flue for the building boilers, and is no longer required. We propose to remove the penthouse in its entirety, and infill the shaft opening throughout the building. Maintaining the penthouse would cause long-term maintenance problems for the building on a rooftop element that is largely secondary in nature to the historic character of the structure. The roof opening will then be infilled, and the masonry parapet continued around the corner of the building.

The large penthouse is also in poor condition and in need of significant restoration. As such, all masonry will be repaired/restored in accordance with the masonry scope of work outlined above. The footprint and height of the penthouse will be maintained.

New rooftop mechanical equipment will be installed as required for the proposed residential use. The mechanical, electrical and plumbing systems have not yet been design for the project, but it is anticipated that the new mechanical system will utilize an air source heat pump system with rooftop condensers spread across the roof deck. Condensers are typically about 6 feet tall, and would be located at the center of the roof deck to minimize visual impact from the immediate adjacent blocks, especially from viewpoints of the two primary facades. If any visual impact is expected, the rooftop equipment will be located in such a way so that the impacted views will be at the two secondary facades of the building only. Final cut sheets and sightline studies will be submitted to HDC staff once available for final approval.

This proposed scope of work meets the *Secretary of Interior Standards for Rehabilitation #6 & 9* as referenced above.

#### Conclusion

The items listed above and attached exhibits provide a synopsis of the Owner's proposed scope of work for the rehabilitation of the Eddystone Hotel building. All of the proposed rehabilitation work meets the Secretary of Interior Standards for Rehabilitation Nos. 1-5, as well as the specific standards mentioned above. As such, we believe that this concept plan should be approved.

Sincerely,

Kraemer Design Group, PLC

Brian Rebain, RA, NCARB  
Architectural Director | Associate



APPLICABLE CODES	
SECTION 1 – GENERAL DESCRIPTION	
PROJECT NAME:	THE EDDYSTONE
PROJECT DESCRIPTION:	THE PROJECT WILL CONSIST OF 80 APARTMENT UNITS IN AN EXISTING BUILDING AND TENANT IMPROVEMENTS ON THE FIRST FLOOR.
APPLICABLE CODES:	
BUILDING:	MICHIGAN BUILDING CODE (MBC) 2012– CHAPTER 34 COMPLIANCE ALTERNATIVES. INTERNATIONAL BUILDING CODE (IBC) 2012 AS REFERENCED BY MBC.
MECHANICAL:	MICHIGAN MECHANICAL CODE (MMC) 2012
PLUMBING:	MICHIGAN PLUMBING CODE (MPC) 2012
ELECTRICAL:	MICHIGAN/NATIONAL ELECTRICAL CODE (NEC) 2011 W/PART 8
LIFE SAFETY:	MICHIGAN BUILDING CODE (MBC) 2012– CHAPTER 34, NFPA 101 2009, DETROIT FIRE CODE
ENERGY:	MICHIGAN UNIFORM ENERGY CODE (MUEC) 2009– REFERENCES ASHRAE 90.1– EXEMPT PER MUEC SECTION 101.4.2
ACCESSIBILITY:	MICHIGAN BUILDING CODE (MBC) 2012– CHAPTER 34 ICC A117.1 2009– WHERE REFERENCED ADA ACCESSIBILITY GUIDELINES (ADAG)
ELEVATOR:	ASME A17.1–2004, ASME A18.1–2003 DETROIT ELEVATOR CODE
SECTION 3 – OCCUPANCY DATA	
USE GROUP (CHAPTER 3):	GROUP R–2 (RETAIL FIRST FLOOR)
OCCUPANT LOAD (SECTION 1004.1, TABLE 1004.1.1):	200 GROSS SF PER PERSON ● 6,151 GSF ● BASEMENT = 31 PEOPLE ● 5,993 GSF ● 1ST FLOOR = 30 PEOPLE ● 4,724 SF ● TYP. FLR = 24 PEOPLE 24 PEOPLE ● 12 FLOORS = 288 PEOPLE
SECTION 5 – CONSTRUCTION CLASSIFICATION & HEIGHT ALLOWANCES	
CONSTRUCTION CLASSIFICATION (SECTION 602, TABLE 601):	IA
ALLOWABLE HEIGHT (TABLE 503):	UNLIMITED
PROPOSED USE HEIGHT: EXISTING (13 STORIES)	
SECTION 6 – BUILDING AREAS	
ALLOWABLE AREA (TABLE 503):	UNLIMITED
EXISTING AREA OF BUILDING PER FLOOR:	6,151 SF ● BASEMENT, 5,993 SF ● 1ST FLOOR, 4,724 SF ● TYPICAL FLOOR
SECTION 8 – EGRESS COMPONENTS	
NUMBER OF EXITS (SECTION 1021, TABLE 1021.2):	
REQUIRED PER FLOOR (BASEMENT):	2
PROVIDED PER FLOOR (1ST FLOOR):	2
REQUIRED PER FLOOR (TYP. FLOOR):	2
EXIT SEPARATION DISTANCE (SECTION 1015.2):	
MINIMUM ALLOWABLE:	10'-4" FT
MINIMUM PROVIDED:	8'-6" FT
EXIT ACCESS TRAVEL DISTANCE (SECTION 1016, TABLE 1016.1):	
MAXIMUM ALLOWABLE:	250 FT
MAXIMUM PROVIDED:	91'-3" FT
ADDITIONAL EGRESS NOTES	
• THE MEANS OF EGRESS SHALL BE ILLUMINATED AT ALL TIMES (SECTION 1006).	
SECTION 9 – FIRE PROTECTION SYSTEM	
SMOKE DETECTION AND FIRE ALARM SYSTEM (SECTION 907):	AUTOMATIC SMOKE DETECTORS. SEE ELECTRICAL AND FIRE PROTECTION DRAWINGS FOR ADDITIONAL INFO.
AUTOMATIC SPRINKLER SYSTEM (SECTION 903):	FULLY SPRINKLED. SEE FIRE PROTECTION DRAWINGS FOR ADDITIONAL INFO.
ADDITIONAL EGRESS NOTES	
• PORTABLE FIRE EXTINGUISHERS (SECTION 906): MAX TRAVEL DISTANCE TO EXTINGUISHER = 75 FEET.	
SECTION 11 – PLUMBING FACILITIES	
REQUIRED FIXTURES (MPC TABLE 403.1):	
WATER CLOSETS	TBD
LAVATORIES	TBD
FIXTURES PROVIDED:	
WATER CLOSETS	TBD
LAVATORIES	TBD



FIRE SUPPRESSION SYSTEM REQUIREMENTS	
1. THE DESIGN-BUILD SPRINKLER CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE BUILDING CODES. FOR HISTORIC PROJECTS, ALL SPRINKLER INSTALLATIONS MUST MEET THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION.	
2. AT ALL EXPOSED CONDITIONS, EXPOSED SPRINKLER LINES ARE REQUIRED TO BE METAL AND PAINTED THE SAME COLOR AS THE BACKGROUND THEY ARE AGAINST. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A PAINT APPROVED BY THE PIPE AND MANUFACTURER.	

LIFE SAFETY DIAGRAMS		
BASEMENT PLAN NOT TO SCALE	FIRST FLOOR PLAN NOT TO SCALE	TYPICAL FLOOR PLAN SCALE: 1/16"=1'-0"

LEGEND
—●— FIRE EXIT
—→— EGRESS PATH
----- 1 HOUR WALL
----- 2 HOUR WALL
----- 3 HOUR FIRE WALL

PROJECT NORTH

SCALE : 1/16" = 1'-0"

SHEET INDEX						
#	SHEET TITLE	SHEET ISSUED				
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A102	FIRST FLOOR PLAN	■	■			
A103	FLOORS TWO–NINE	■	■			
A104	FLOORS TEN–THIRTEEN	■	■			
A105	ROOF PLAN	■	■			
A201	EXTERIOR ELEVATION	■	■			
A202	EXTERIOR ELEVATION	■	■			
A203	EXTERIOR ELEVATION	■	■			
A204	EXTERIOR ELEVATION	■	■			

F:\180 Projects\1804099 Hotel Concord Paddock and Stone - 0204 Project 1 Egress Priority Properties\Architectural\Programming Data\1804099 Unit Metric Eddystone 12-15-14.dwg

LOCATION MAP
<p>PROJECT NORTH</p>

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Architect

**EDDYSTONE HOTEL**  
110 SPROAT STREET  
DETROIT, MI 48201

Consultant

Project / Owner

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CONCEPT APPROVAL 04/21/2015  
OWNER REVIEW 12/19/2014  
Revision Date

Date

Project Number 2014099

Sheet Title  
COVER

Sheet Number

COVER



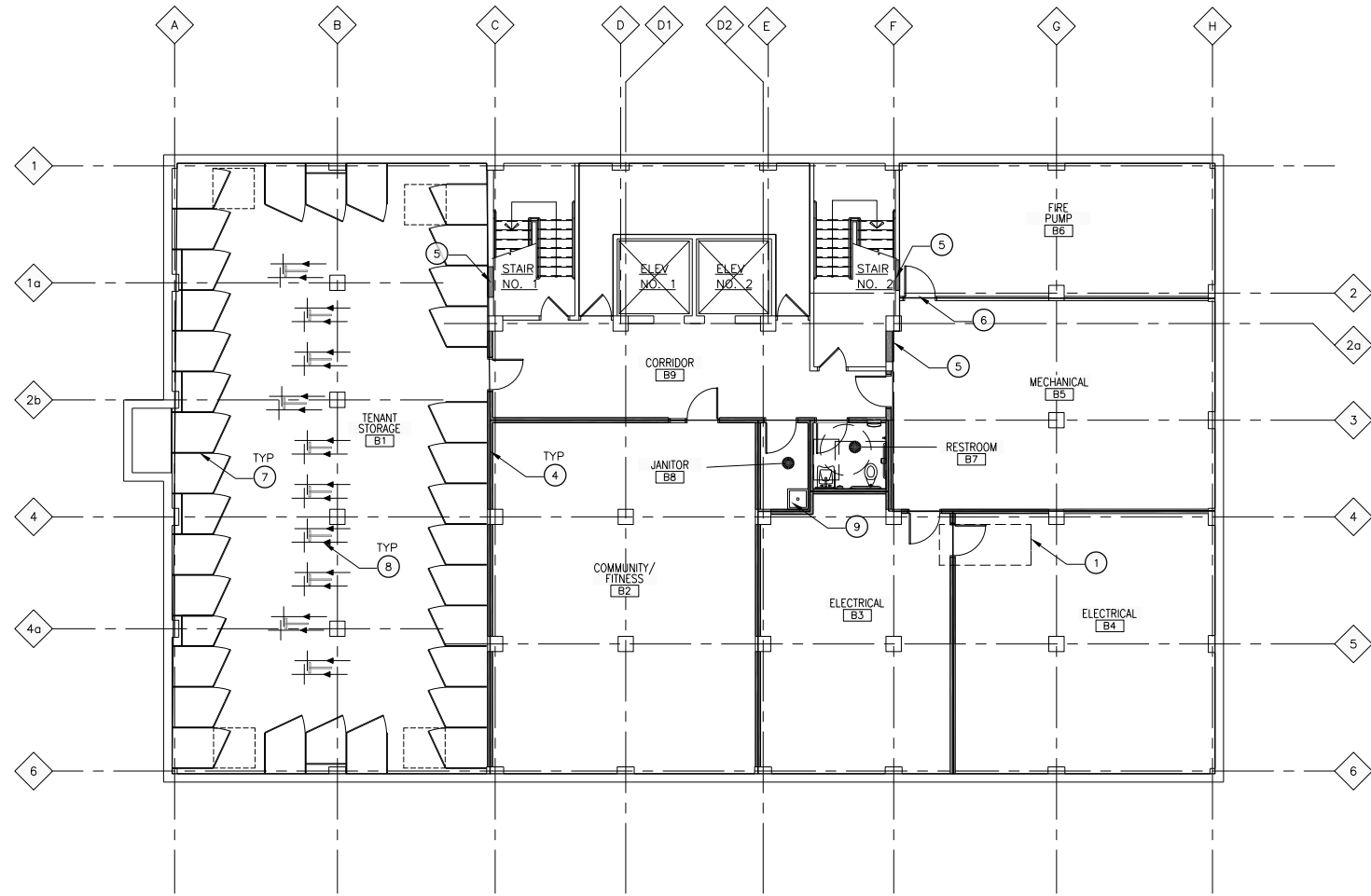
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### BASEMENT FLOOR PLAN

SCALE: 1/8" = 1'-0"  
DRAWING IS FOR ILLUSTRATIVE PURPOSES ONLY;  
FINAL FLOOR PLANS MAY VARY THE TYPE OF  
UNITS AND NUMBER OF UNITS SHOWN

### GENERAL NOTES

- NOTE: ALL ABBREVIATIONS, MATERIALS AND SYMBOLS IN LEGENDS MAY OR MAY NOT BE USED.
- E. FIRESTOPPING: PROVIDE FIRESTOPPING ASSEMBLIES AT ALL PENETRATIONS AND INTERRUPTIONS TO FIRE RATED ASSEMBLIES WHICH PROVIDE THE SPECIFIED FIRE RATING OR PARTITION OR FLOOR. SEE SPECIFICATIONS.
  - F. FIRE RATED PARTITIONS SHALL BE CONTINUOUS FROM FLOOR TO STRUCTURE ABOVE AND SHALL BE FIRE STOPPED TIGHTLY TO STRUCTURE PER CODE (U.L. SYSTEM).
  - G. WHERE NEW GYPSUM BOARD PARTITIONS ARE A CONTINUATION OF AN EXISTING PARTITION OR COLUMN ENCASEMENT, THE FACE OF THE NEW GYPSUM BOARD SHALL BE ALIGNED WITH THE FACE OF THE EXISTING SURFACE. WHERE A NEW GYPSUM BOARD PARTITION IS SHOWN INTERSECTING A COLUMN ENCASEMENT THE CENTERLINE OF THE WALL SHALL BE CENTERED ON THE COLUMN ENCASEMENT.
  - H. WHERE NEW OR INFILL PARTITION ABUTS EXISTING PARTITION, FACE OF PARTITIONS SHALL ALIGN, UNLESS NOTED OTHERWISE.
  - I. PARTITIONS WITH EXISTING FRAMING MAY REQUIRE REWORK TO ACCOMMODATE NEW OPENINGS, ETC.
  - J. WHERE NEW FINISHES ARE SPECIFIED ON THE FINISH PLAN REMOVE ALL EXISTING FINISHES - PATCH AND REPAIR WALLS AND FLOOR - PREPARE THEM TO ACCEPT NEW SCHEDULED FINISH PER MANUFACTURER'S INSTRUCTION. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
  - K. LOCATE DOOR FRAMES 6" FROM INSIDE CORNER TO DOOR OPENING, UNLESS NOTED OTHERWISE.
  - L. ALL INTERIOR GLAZING INCL DOORS, SIDELITES, & BORROWED LITES SHALL BE CLEAR LAMINATED SAFETY GLASS OR CLEAR TEMPERED SAFETY GLAZING. UNLESS NOTED OTHERWISE.
  - M. SEMI-RECESSED FIRE EXTINGUISHER (FE) - REFER TO SHEET A501 FOR TYPICAL DETAILS; FINAL LOCATION OF FIRE EXTINGUISHERS SHALL BE REVIEWED IN FIELD WITH BUILDING OFFICIAL PRIOR TO INSTALLATION ROUGH-IN.
  - N. RECESSED ITEMS (GREATER THAN 16 SQ. IN.) IN RATED AND/OR SMOKE WALLS, INCLUDING ELEC PANELS, ELEC DUCTS, MED GAS VALVE BOXES, FIRE EXT CABINETS, ETC. SHALL BE BACKED WITH 5/8" TYPE 'X' GYPSUM BOARD TO MAINTAIN RATING FIRE WALL.
  - O. TELEPHONE AND ELECTRICAL PANEL BOARDS: PROVIDE AND INSTALL 4' X 8' X 3/4" THICK, PLYWOOD, FIRE RETARDANT TREATED.

### CONSTRUCTION KEYNOTES

NOTE: NOT ALL NOTES ARE APPLICABLE TO THIS SHEET.

- 1 REMOVE EXISTING STAIR AND INFILL FLOOR SLAB.
- 2 FILL FLOORS FLUSH AND SMOOTH AT ALL REMOVED WALLS.
- 3 REMOVE ALL EXISTING WALLS UNLESS OTHERWISE NOTED.
- 4 NEW GYP BRD PARTITION.
- 5 REMOVE EXISTING DOOR, FRAME, HARDWARE COMPLETE AND INFILL OPENING. MATCH ADJACENT WALL SURFACE, TOOTH IN, FLUSH.
- 6 CUT OPENING FOR NEW DOOR AND FRAME INSTALLATION IN EXISTING WALL.
- 7 DOUBLE TIER TENANT STORAGE LOCKERS.
- 8 TENANT BIKE STORAGE.
- 9 FLOOR MOP SINK.

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Architect

Consultant

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CONCEPT APPROVAL	04/21/2015
OWNER REVIEW	12/19/2014
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Project Number 2014099

Sheet Title  
BASEMENT FLOOR  
PLAN

Sheet Number

A101



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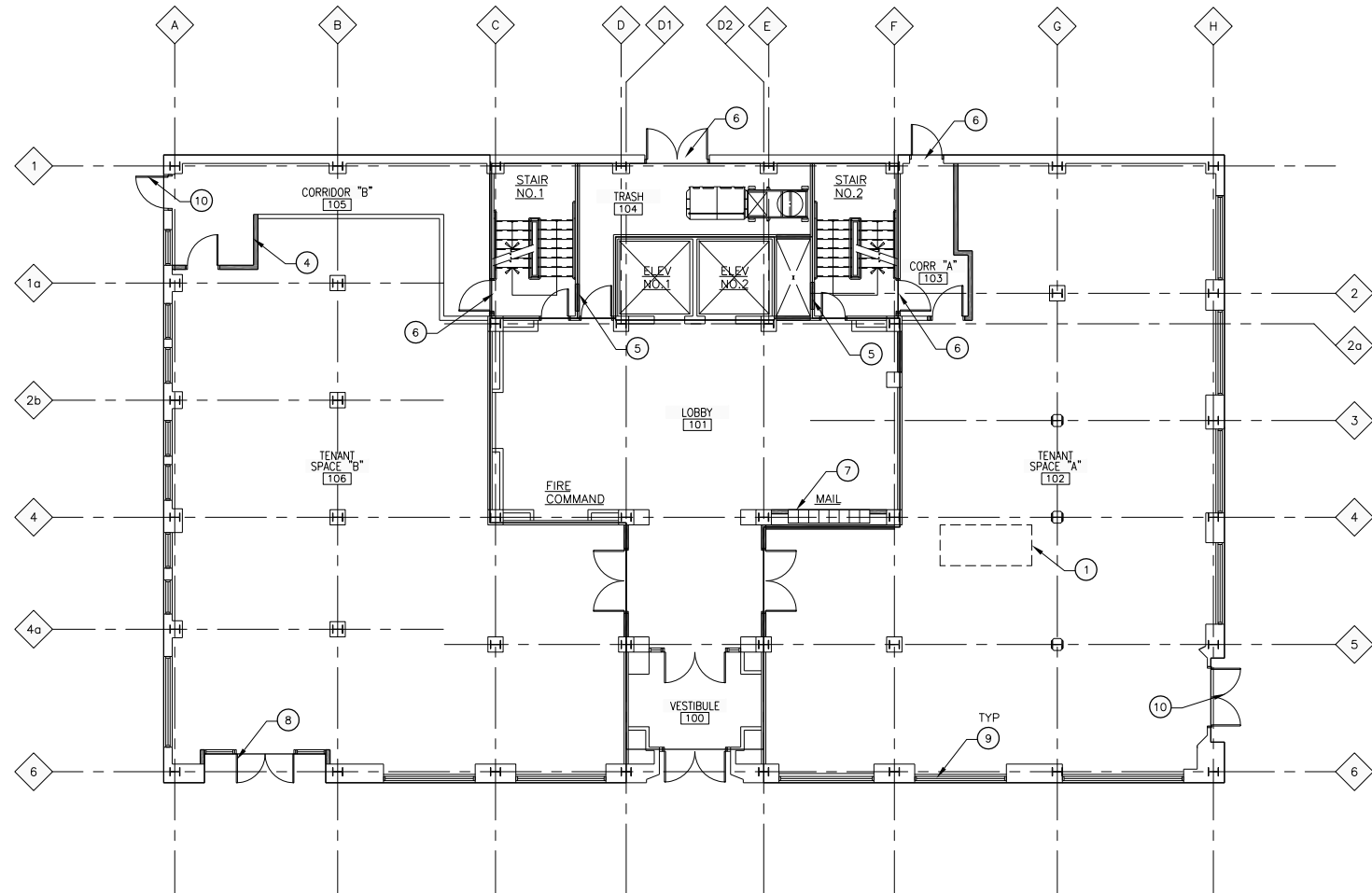
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## FIRST FLOOR PLAN

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- 8 NEW RETAIL TENANT ENTRANCE IN EXISTING OPENING.
- 9 REMOVE ALL INFILLED OPENINGS AND REPLACE WITH GLAZED UNITS. REFER TO ELEVATIONS.
- 10 NEW DOOR, FRAME, AND HARDWARE IN EXISTING OPENING.

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Sheet Title

FIRST FLOOR PLAN

Sheet Number

A102



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SCALE : 1/8" = 1'-0"

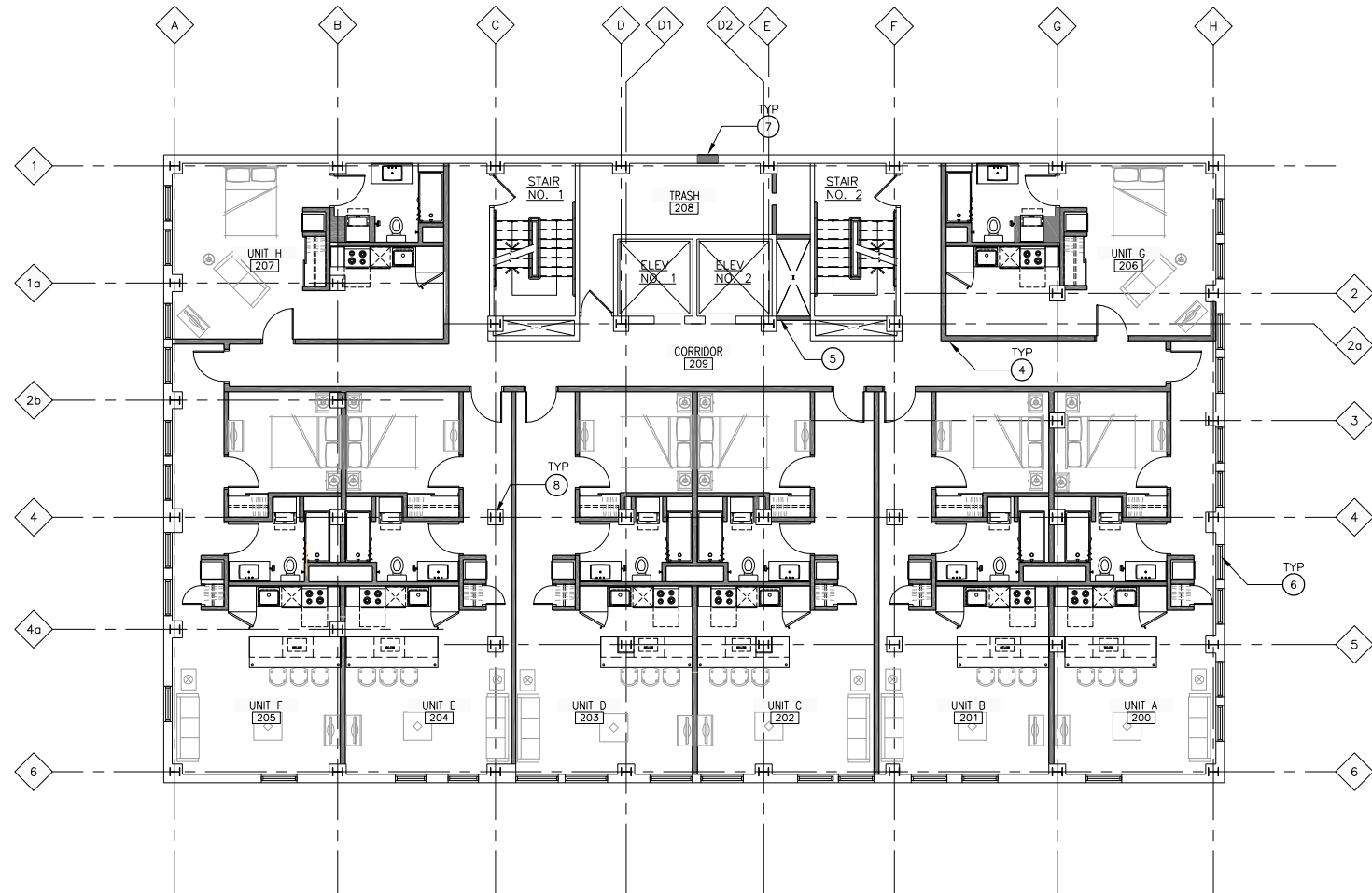
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### FLOORS TWO-NINE

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  - H. WHERE NEW OR INFILL PARTITION ABUTS EXISTING PARTITION, FACE OF PARTITIONS SHALL ALIGN, UNLESS NOTED OTHERWISE.
  - I. PARTITIONS WITH EXISTING FRAMING MAY REQUIRE REWORK TO ACCOMMODATE NEW OPENINGS, ETC.
  - J. WHERE NEW FINISHES ARE SPECIFIED ON THE FINISH PLAN REMOVE ALL EXISTING FINISHES - PATCH AND REPAIR WALLS AND FLOOR - PREPARE THEM TO ACCEPT NEW SCHEDULED FINISH PER MANUFACTURER'S INSTRUCTION. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
  - K. LOCATE DOOR FRAMES 6" FROM INSIDE CORNER TO DOOR OPENING, UNLESS NOTED OTHERWISE.
  - L. ALL INTERIOR GLAZING INCL DOORS, SIDELITES, & BORROWED LITES SHALL BE CLEAR LAMINATED SAFETY GLASS OR CLEAR TEMPERED SAFETY GLAZING. UNLESS NOTED OTHERWISE.
  - M. SEMI-RECESSED FIRE EXTINGUISHER (FE) - REFER TO SHEET A501 FOR TYPICAL DETAILS; FINAL LOCATION OF FIRE EXTINGUISHERS SHALL BE REVIEWED IN FIELD WITH BUILDING OFFICIAL PRIOR TO INSTALLATION ROUGH-IN.
  - N. RECESSED ITEMS (GREATER THAN 16 SQ. IN.) IN RATED AND/OR SMOKE WALLS, INCLUDING ELEC PANELS, ELEC DUCTS, MED GAS VALVE BOXES, FIRE EXT CABINETS, ETC. SHALL BE BACKED WITH 5/8" TYPE 'X' GYPSUM BOARD TO MAINTAIN RATING FIRE WALL.
  - O. TELEPHONE AND ELECTRICAL PANEL BOARDS: PROVIDE AND INSTALL 4' X 8' X 3/4" THICK, PLYWOOD, FIRE RETARDANT TREATED.

### CONSTRUCTION KEYNOTES

NOTE: NOT ALL NOTES ARE APPLICABLE TO THIS SHEET.

- 1 REMOVE EXISTING STAIR AND INFILL FLOOR SLAB.
- 2 FILL FLOORS FLUSH AND SMOOTH AT ALL REMOVED WALLS.
- 3 REMOVE ALL EXISTING WALLS UNLESS OTHERWISE NOTED.
- 4 NEW GYP BRD PARTITION- FIRE RATED AS REQUIRED.
- 5 REMOVE EXISTING DOOR, FRAME, HARDWARE COMPLETE AND INFILL OPENING. MATCH ADJACENT WALL SURFACE.
- 6 REMOVE ALL OPENINGS COMPLETE AND REPLACE WITH GLAZED UNITS. REFER TO ELEVATIONS.
- 7 REMOVE EXISTING WINDOW, COMPLETE, FILL IN OPENING- TOOTH IN, MATCH EXISTING BRICK COURSING, TEXTURE, SIZE, AND COLOR. MATCH MORTAR COLOR.
- 8 EXISTING COLUMNS TO REMAIN- PATCH/REAPIR AS NEEDED.

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Consultant

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Project / Owner

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CONCEPT APPROVAL	04/21/2015
OWNER REVIEW	12/19/2014
Revision	Date

Date

Project Number	2014099
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Sheet Title  
FLOORS TWO-NINE

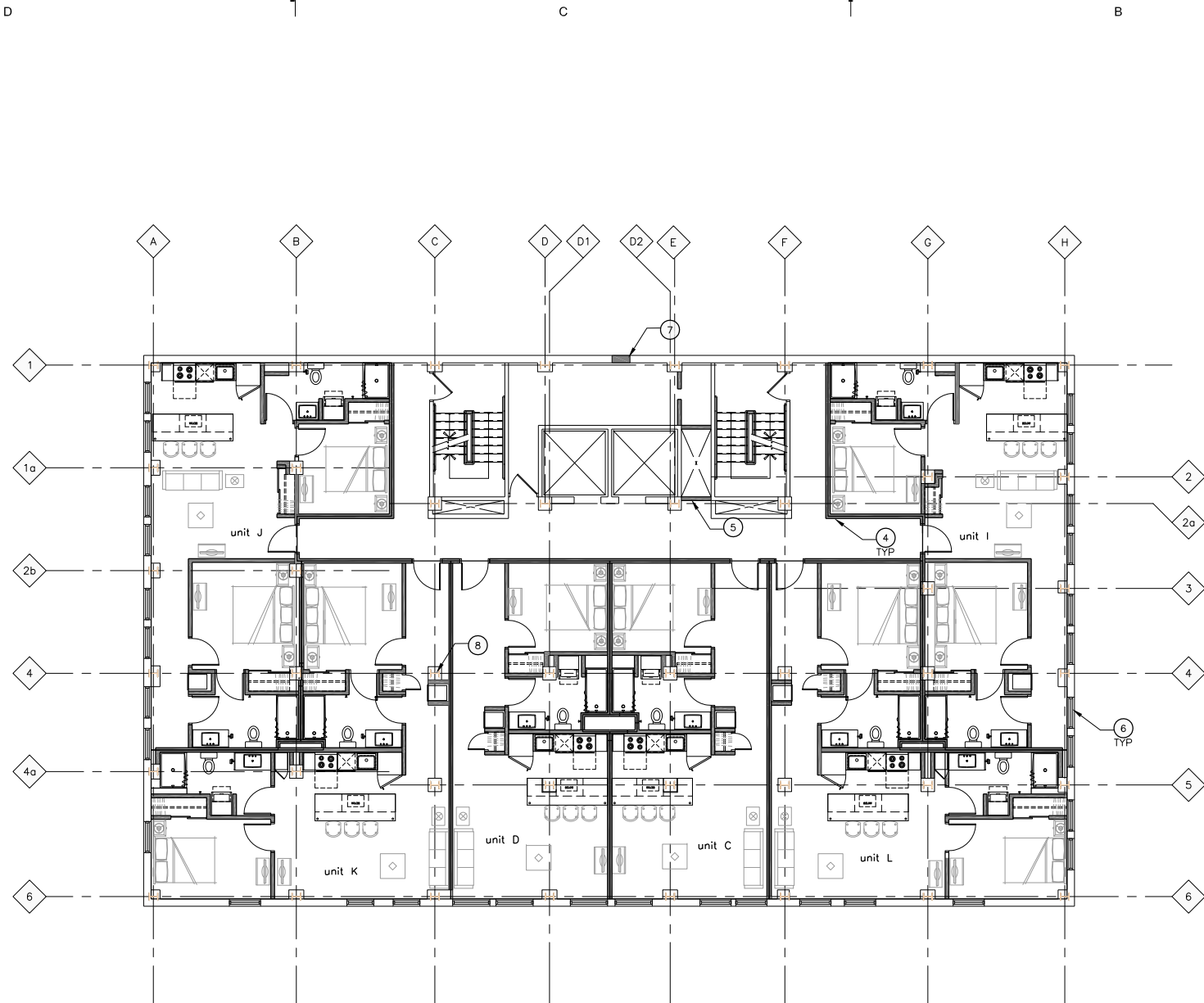
Sheet Number

A103



0 2' 4' 8' 16'  
SCALE : 1/8" = 1'-0"

PLOTTED ON 4/21/2015 8:16 AM | PLOTTED BY KIMBERLY DOKES



FLOORS TEN-THIRTEEN

SCALE: 1/8" = 1'-0"  
 DRAWING IS FOR ILLUSTRATIVE PURPOSES ONLY;  
 FINAL FLOOR PLANS MAY VARY THE TYPE OF  
 UNITS AND NUMBER OF UNITS SHOWN

GENERAL NOTES

- NOTE: ALL ABBREVIATIONS, MATERIALS AND SYMBOLS IN LEGENDS MAY OR MAY NOT BE USED.
- E. FIRESTOPPING: PROVIDE FIRESTOPPING ASSEMBLIES AT ALL PENETRATIONS AND INTERRUPTIONS TO FIRE RATED ASSEMBLIES WHICH PROVIDE THE SPECIFIED FIRE RATING OR PARTITION OR FLOOR. SEE SPECIFICATIONS.
  - F. FIRE RATED PARTITIONS SHALL BE CONTINUOUS FROM FLOOR TO STRUCTURE ABOVE AND SHALL BE FIRE STOPPED TIGHTLY TO STRUCTURE PER CODE (U.L. SYSTEM).
  - G. WHERE NEW GYPSUM BOARD PARTITIONS ARE A CONTINUATION OF AN EXISTING PARTITION OR COLUMN ENCASEMENT, THE FACE OF THE NEW GYPSUM BOARD SHALL BE ALIGNED WITH THE FACE OF THE EXISTING SURFACE. WHERE A NEW GYPSUM BOARD PARTITION IS SHOWN INTERSECTING A COLUMN ENCASEMENT THE CENTERLINE OF THE WALL SHALL BE CENTERED ON THE COLUMN ENCASEMENT.
  - H. WHERE NEW OR INFILL PARTITION ABUTS EXISTING PARTITION, FACE OF PARTITIONS SHALL ALIGN, UNLESS NOTED OTHERWISE.
  - I. PARTITIONS WITH EXISTING FRAMING MAY REQUIRE REWORK TO ACCOMMODATE NEW OPENINGS, ETC.
  - J. WHERE NEW FINISHES ARE SPECIFIED ON THE FINISH PLAN REMOVE ALL EXISTING FINISHES - PATCH AND REPAIR WALLS AND FLOOR - PREPARE THEM TO ACCEPT NEW SCHEDULED FINISH PER MANUFACTURER'S INSTRUCTION. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
  - K. LOCATE DOOR FRAMES 6" FROM INSIDE CORNER TO DOOR OPENING, UNLESS NOTED OTHERWISE.
  - L. ALL INTERIOR GLAZING INCL DOORS, SIDELITES, & BORROWED LITES SHALL BE CLEAR LAMINATED SAFETY GLASS OR CLEAR TEMPERED SAFETY GLAZING. UNLESS NOTED OTHERWISE.
  - M. SEMI-RECESSED FIRE EXTINGUISHER (FE) - REFER TO SHEET A501 FOR TYPICAL DETAILS; FINAL LOCATION OF FIRE EXTINGUISHERS SHALL BE REVIEWED IN FIELD WITH BUILDING OFFICIAL PRIOR TO INSTALLATION ROUGH-IN.
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  - O. TELEPHONE AND ELECTRICAL PANEL BOARDS: PROVIDE AND INSTALL 4' X 8' X 3/4" THICK, PLYWOOD, FIRE RETARDANT TREATED.

CONSTRUCTION KEYNOTES

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  - 2 FILL FLOORS FLUSH AND SMOOTH AT ALL REMOVED WALLS.
  - 3 REMOVE ALL EXISTING WALLS UNLESS OTHERWISE NOTED.
  - 4 NEW GYP BRD PARTITION- FIRE RATED AS REQUIRED.
  - 5 REMOVE EXISTING DOOR, FRAME, HARDWARE COMPLETE AND INFILL OPENING. MATCH ADJACENT WALL SURFACE.
  - 6 REMOVE ALL OPENINGS COMPLETE AND REPLACE WITH GLAZED UNITS. REFER TO ELEVATIONS.
  - 7 REMOVE EXISTING WINDOW, COMPLETE, FILL IN OPENING- TOOTH IN, MATCH EXISTING BRICK COURSING, TEXTURE, SIZE, AND COLOR. MATCH MORTAR COLOR.
  - 8 EXISTING COLUMNS TO REMAIN- PATCH/REAPIR AS NEEDED.

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 OWNER REVIEW 12/19/2014  
 Revision Date

Date

Project Number 2014099

Sheet Title  
 FLOORS  
 TEN-THIRTEEN

Sheet Number

A104



0 2' 4' 8' 16'  
 SCALE : 1/8" = 1'-0"



PLOTTED ON 4/21/2015 8:16 AM | PLOTTED BY KIMBERLY DOKES

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CONSTRUCTION KEYNOTES

NOTE: NOT ALL NOTES ARE APPLICABLE TO THIS SHEET.

- 1 LINE OF ERV UNIT.
- 2 CONDENSERS. MINIMUM 10' FROM ROOF EDGE.
- 3 PLUMBING STACKS.
- 4 REMOVE ABANDONED MASONRY CHIMNEY. TUCKPOINT EXISTING PARAPET AS NEEDED.
- 5 EXHAUST VENT FOR TRASH CHUTE (ABOVE).
- 6 TUCKPOINT ALL CORNICE AS NEEDED. REFER TO ELEVATIONS.
- 7 EPDM ROOFING OVER MINIMUM 4" INSULATION.

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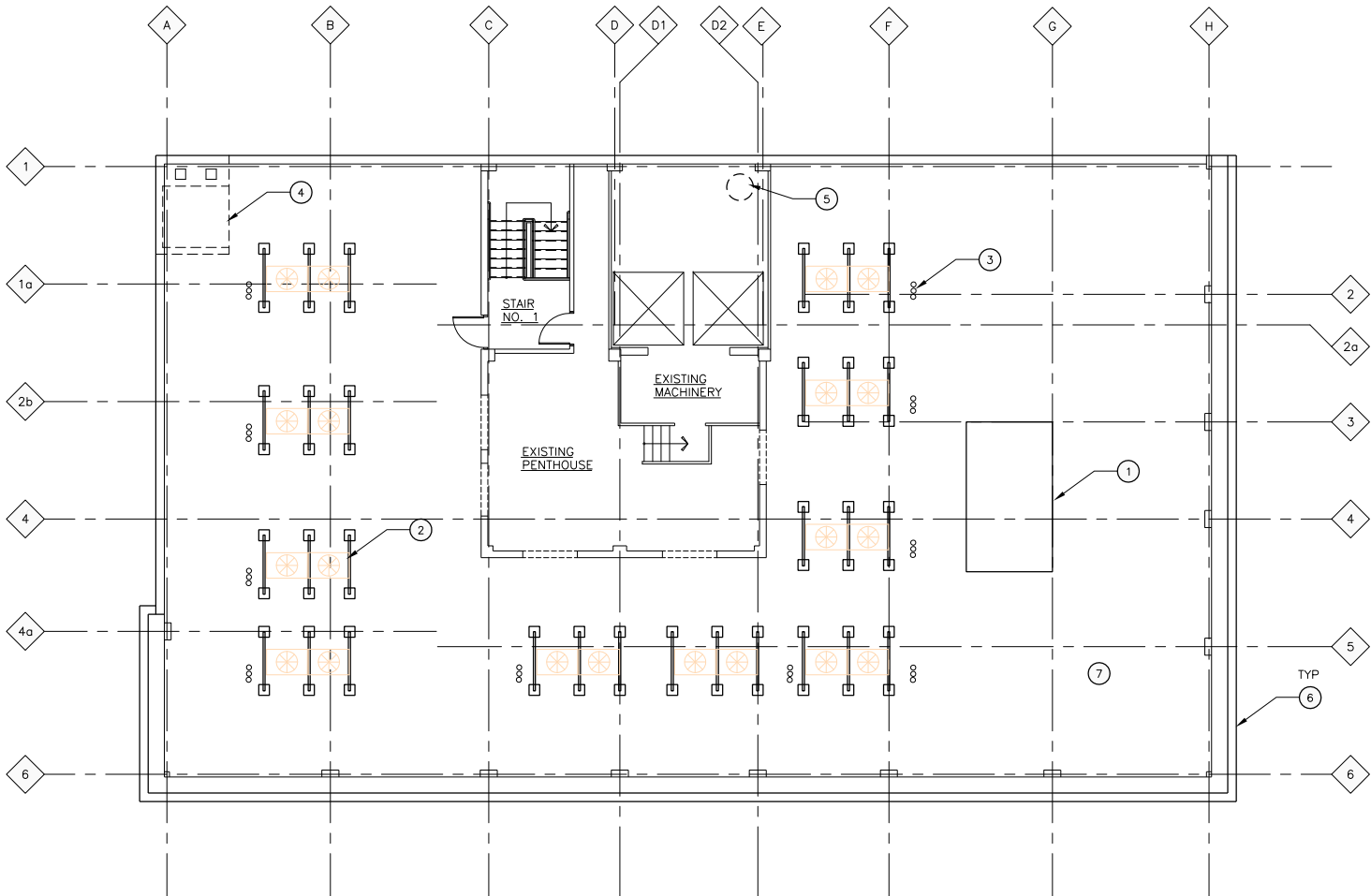
Date

Project Number	2014099
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Sheet Title  
ROOF PLAN

Sheet Number

A105



ROOF PLAN  
SCALE: 1/8" = 1'-0"



0 2' 4' 8' 16'  
SCALE : 1/8" = 1'-0"

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1 SOUTH ELEVATION  
A201 SCALE: 1/8" = 1'-0"  
REFERENCE LOCATIONS:

### FINISH LEGEND

BR-1 BRICK— MATCH EXISTING SIZE, COURSING, TEXTURE AND COLOR

### CONSTRUCTION KEYNOTES

- 1 REMOVE ALL EXISTING WOOD WINDOWS, COMPLETE, IN PREPARATION FOR NEW WINDOW INSTALLATION.
- 2 REMOVE ALL OPENING INFILL MATERIALS: WOOD, CMU, SECURITY BARS, ETC., COMPLETE, IN PREPARATION FOR NEW WINDOW INSTALLATION.
- 3 REMOVE EXISTING STONE SILL. SILL TO BE REPAIRED AND REINSTALLED.
- 4 REMOVE METAL SIGN BOXES AND ASSOCIATED WIRING— REMOVE BACK TO SOURCE. CLEAN AND REPAIR STONework BEHIND REMOVED BOX AS REQUIRED.
- 5 REMOVE EXISTING TERRA COTTA TILE, CONCRETE BEDDING, AND METAL FLASHING FROM PARAPET. PREPARE PARAPET FOR NEW FLASHING INSTALLATION.
- 6 EXISTING TERRA COTTA ORNAMENT (CORNICES, BALUSTERS, SILLS, ETC.) TO BE CLEANED, PATCHED, REPAIRED, AND/OR REPLACED AS REQUIRED. REPLACEMENTS TO MATCH EXISTING.
- 7 EXISTING STONE SILLS TO BE CLEANED AND REPAIRED, AS REQUIRED.
- 8 ALL EXISTING MORTAR JOINTS TO BE CLEANED AND REPOINTED. CUSTOM MORTAR COLOR TO MATCH EXISTING.
- 9 EXISTING STEEL FLAGPOLES TO BE CLEANED AND REPAINTED.
- 10 EXISTING STONework (ORNAMENT, FACING, SILLS, ETC.) TO BE CLEANED, PATCHED, REPAIRED, AND/OR REPLACED AS REQUIRED. REPLACEMENTS TO MATCH EXISTING.
- 11 LINE OF REMOVED CHIMNEY
- 12 NEW WINDOWS IN EXISTING OPENINGS.
- 13 NEW DOORS IN EXISTING OPENING.
- 14 NEW TENANT ENTRANCE IN EXISTING OPENING.
- 15 NEW STONE SILL IN EXISTING OPENING. MATCH EXISTING.

### RESTORATION GENERAL NOTES

- A. ALL ELEVATIONS SHALL UNDERGO COMPLETE BRICK, STONE, AND TERRA COTTA CLEANING FROM PARAPET TO GRADE. SEE MASONRY CLEANING SPECIFICATION SECTIONS FOR DETAILS ON APPROVED CLEANING PROCEDURES, PRODUCTS, AND MANUFACTURERS.
- B. CLEAN FACADE USING GENTLEST MEANS POSSIBLE TO ACHIEVE SATISFACTORY RESULTS WITHOUT CHANGING THE SURFACE OF THE MASONRY. PAY SPECIAL ATTENTION TO AREAS OF EXCESSIVE SOILING. CONTRACTOR SHALL CONDUCT TEST PATCHES TO ENSURE THE BEST AND MOST ECONOMICAL MEANS OF CLEANING. ALL MASONRY AND TERRA COTTA CLEANING SHALL MEET THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AS WELL AS ALL APPLICABLE NATIONAL PARK SERVICE TECHNICAL BRIEFS.
- C. CLEAN ALL STONE THAT IS TO REMAIN & LET WEATHER FOR TWO WEEKS BEFORE ANY REPLACEMENT OR PATCHING IS TO OCCUR — REPLACEMENT STONE & PATCHED AREAS TO MATCH EXIST 'CLEANED' COLOR
- D. RESTORATION CONTRACTOR SHALL INSPECT ALL EXISTING MASONRY, INCLUDING BOTH SIDES OF PARAPET FULL HEIGHT, FOR STRUCTURAL STABILITY PRIOR TO BID. REINSPECT AFTER INITIAL CLEANING OF MASONRY.
- E. REPLACE/RESET LOOSE MASONRY UNITS AND REPOINT DAMAGED MORTAR JOINTS AS REQUIRED. IF NECESSARY, RECOMMEND FURTHER REHABILITATION TO ENSURE STABILITY OF EXTERIOR WALL AND PARAPET CONSTRUCTION. SEE MASONRY RESTORATION SPECIFICATIONS FOR DETAILS ON APPROVED RESTORATION PROCEDURES, PRODUCTS, AND MANUFACTURERS. ALL MASONRY RESTORATION WORK SHALL MEET THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AS WELL AS ALL APPLICABLE NATIONAL PARK SERVICE TECHNICAL BRIEFS.
- F. INSPECT ALL TERRA COTTA UNITS FOR DAMAGE, SPALLING OR CRAZING.
- G. WHERE TERRA COTTA GLAZING HAS SPALLED AND THE CLAY SUBSTRATE IS IN GOOD CONDITION, COAT RAW CLAY WITH APPROVED BREATHABLE SEALER TO MATCH COLOR OF EXISTING GLAZING.
- H. WHERE TERRA COTTA UNITS HAVE SPALLED SIGNIFICANTLY, PATCH DAMAGED AREAS WITH APPROVED MASONRY REPAIR MORTAR AS REQUIRED BY DEPTH OF DAMAGED AREA. COAT PATCHED AREA WITH APPROVED BREATHABLE SEALER TO MATCH COLOR OF EXISTING GLAZING.
- I. WHERE TERRA COTTA HAS DETERIORATED BEYOND REPAIR, REMOVE AFFECTED TERRA COTTA UNITS AND PROVIDE NEW TERRA COTTA UNITS TO MATCH EXISTING PROFILE, COLOR AND FINISH.
- J. SEE TERRA COTTA RESTORATION SPECIFICATIONS FOR APPROVED RESTORATION PROCEDURES, PRODUCTS, AND MANUFACTURERS. ALL TERRA COTTA RESTORATION WORK SHALL MEET THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AS WELL AS ALL APPLICABLE NATIONAL PARK SERVICE TECHNICAL BRIEFS.

0 2' 4' 8' 16'  
SCALE : 1/8" =1'-0"

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Revision Date

Date

Project Number 2014099

Sheet Title

EXTERIOR  
ELEVATIONS

Sheet Number

A201

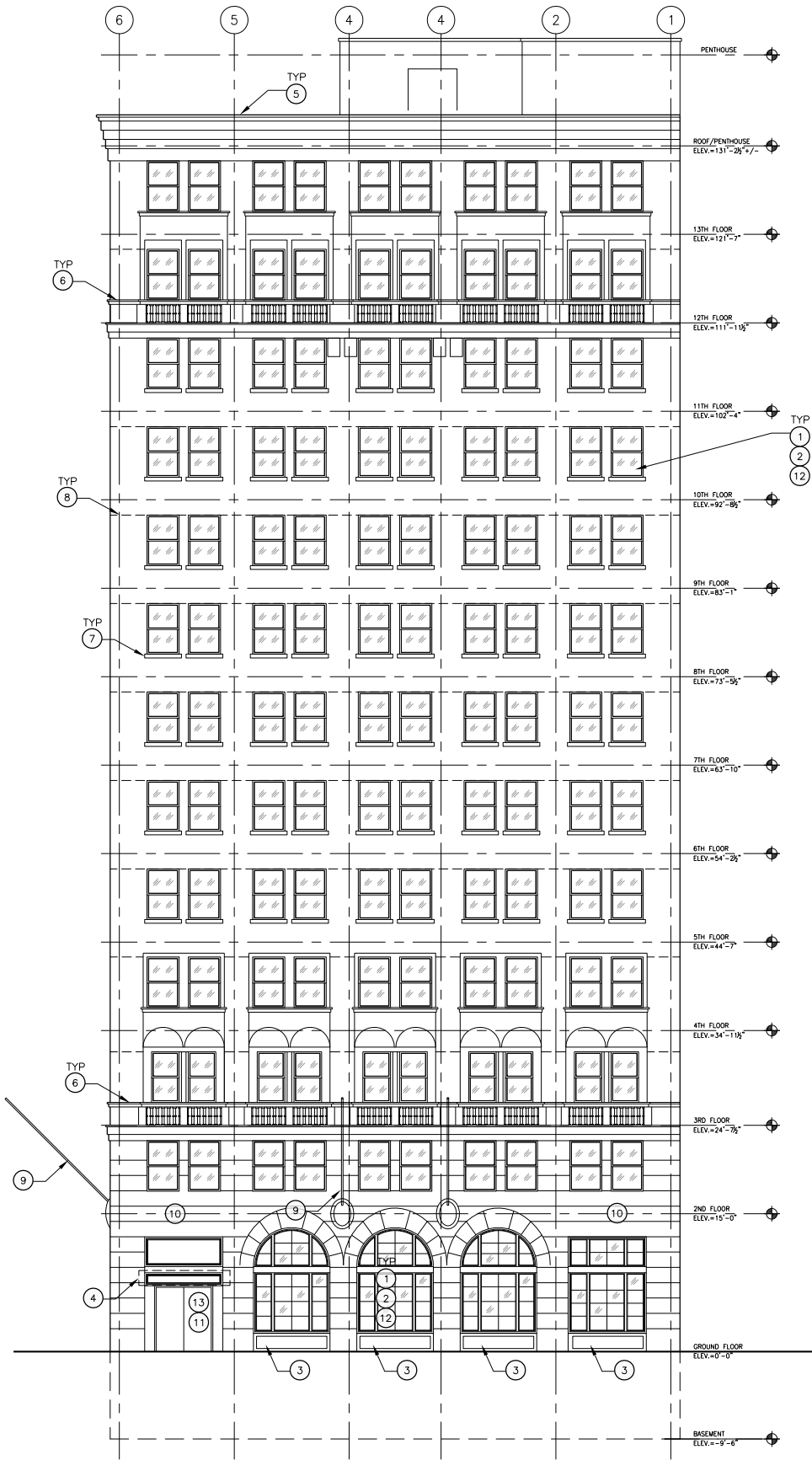
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1 EAST ELEVATION  
A202 SCALE: 1/8" = 1'-0"  
REFERENCE LOCATIONS:

FINISH LEGEND

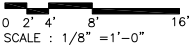
- BR-1 BRICK— MATCH EXISTING SIZE, COURSING, TEXTURE, AND COLOR

CONSTRUCTION KEYNOTES

- 1 REMOVE ALL EXISTING WOOD WINDOWS, COMPLETE, IN PREPARATION FOR NEW WINDOW INSTALLATION.
- 2 REMOVE ALL OPENING INFILL MATERIALS: WOOD, CMU, SECURITY BARS, ETC., COMPLETE, IN PREPARATION FOR NEW WINDOW INSTALLATION.
- 3 REMOVE EXISTING STONE SILL. SILL TO BE REPAIRED AND REINSTALLED.
- 4 REMOVE METAL SIGN BOXES AND ASSOCIATED WIRING— REMOVE BACK TO SOURCE. CLEAN AND REPAIR STONEWORK BEHIND REMOVED BOX AS REQUIRED.
- 5 REMOVE EXISTING TERRA COTTA TILE, CONCRETE BEDDING, AND METAL FLASHING FROM PARAPET. PREPARE PARAPET FOR NEW FLASHING INSTALLATION.
- 6 EXISTING TERRA COTTA ORNAMENT (CORNICES, BALUSTERS, SILLS, ETC.) TO BE CLEANED, PATCHED, REPAIRED, AND/OR REPLACED AS REQUIRED. REPLACEMENTS TO MATCH EXISTING.
- 7 EXISTING STONE SILLS TO BE CLEANED AND REPAIRED, AS REQUIRED.
- 8 ALL EXISTING MORTAR JOINTS TO BE CLEANED AND REPOINTED. CUSTOM MORTAR COLOR TO MATCH EXISTING.
- 9 EXISTING STEEL FLAGPOLES TO BE CLEANED AND REPAINTED.
- 10 EXISTING STONEWORK (ORNAMENT, FACING, SILLS, ETC.) TO BE CLEANED, PATCHED, REPAIRED, AND/OR REPLACED AS REQUIRED. REPLACEMENTS TO MATCH EXISTING.
- 11 NEW TENANT ENTRANCE IN EXISTING OPENING.
- 12 NEW WINDOWS IN EXISTING OPENINGS.
- 13 NEW DOORS IN EXISTING OPENING.

RESTORATION GENERAL NOTES

- A. ALL ELEVATIONS SHALL UNDERGO COMPLETE BRICK, STONE, AND TERRA COTTA CLEANING FROM PARAPET TO GRADE. SEE MASONRY CLEANING SPECIFICATION SECTIONS FOR DETAILS ON APPROVED CLEANING PROCEDURES, PRODUCTS, AND MANUFACTURERS.
- B. CLEAN FACADE USING GENTLEST MEANS POSSIBLE TO ACHIEVE SATISFACTORY RESULTS WITHOUT CHANGING THE SURFACE OF THE MASONRY. PAY SPECIAL ATTENTION TO AREAS OF EXCESSIVE SOILING. CONTRACTOR SHALL CONDUCT TEST PATCHES TO ENSURE THE BEST AND MOST ECONOMICAL MEANS OF CLEANING. ALL MASONRY AND TERRA COTTA CLEANING SHALL MEET THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AS WELL AS ALL APPLICABLE NATIONAL PARK SERVICE TECHNICAL BRIEFS.
- C. CLEAN ALL STONE THAT IS TO REMAIN & LET WEATHER FOR TWO WEEKS BEFORE ANY REPLACEMENT OR PATCHING IS TO OCCUR — REPLACEMENT STONE & PATCHED AREAS TO MATCH EXIST 'CLEANED' COLOR
- D. RESTORATION CONTRACTOR SHALL INSPECT ALL EXISTING MASONRY, INCLUDING BOTH SIDES OF PARAPET FULL HEIGHT, FOR STRUCTURAL STABILITY PRIOR TO BID. REINSPECT AFTER INITIAL CLEANING OF MASONRY.
- E. REPLACE/RESET LOOSE MASONRY UNITS AND REPOINT DAMAGED MORTAR JOINTS AS REQUIRED. IF NECESSARY, RECOMMEND FURTHER REHABILITATION TO ENSURE STABILITY OF EXTERIOR WALL AND PARAPET CONSTRUCTION. SEE MASONRY RESTORATION SPECIFICATIONS FOR DETAILS ON APPROVED RESTORATION PROCEDURES, PRODUCTS, AND MANUFACTURERS. ALL MASONRY RESTORATION WORK SHALL MEET THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AS WELL AS ALL APPLICABLE NATIONAL PARK SERVICE TECHNICAL BRIEFS.
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- I. WHERE TERRA COTTA HAS DETERIORATED BEYOND REPAIR, REMOVE AFFECTED TERRA COTTA UNITS AND PROVIDE NEW TERRA COTTA UNITS TO MATCH EXISTING PROFILE, COLOR AND FINISH.
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EXTERIOR  
ELEVATIONS

Sheet Number

A202

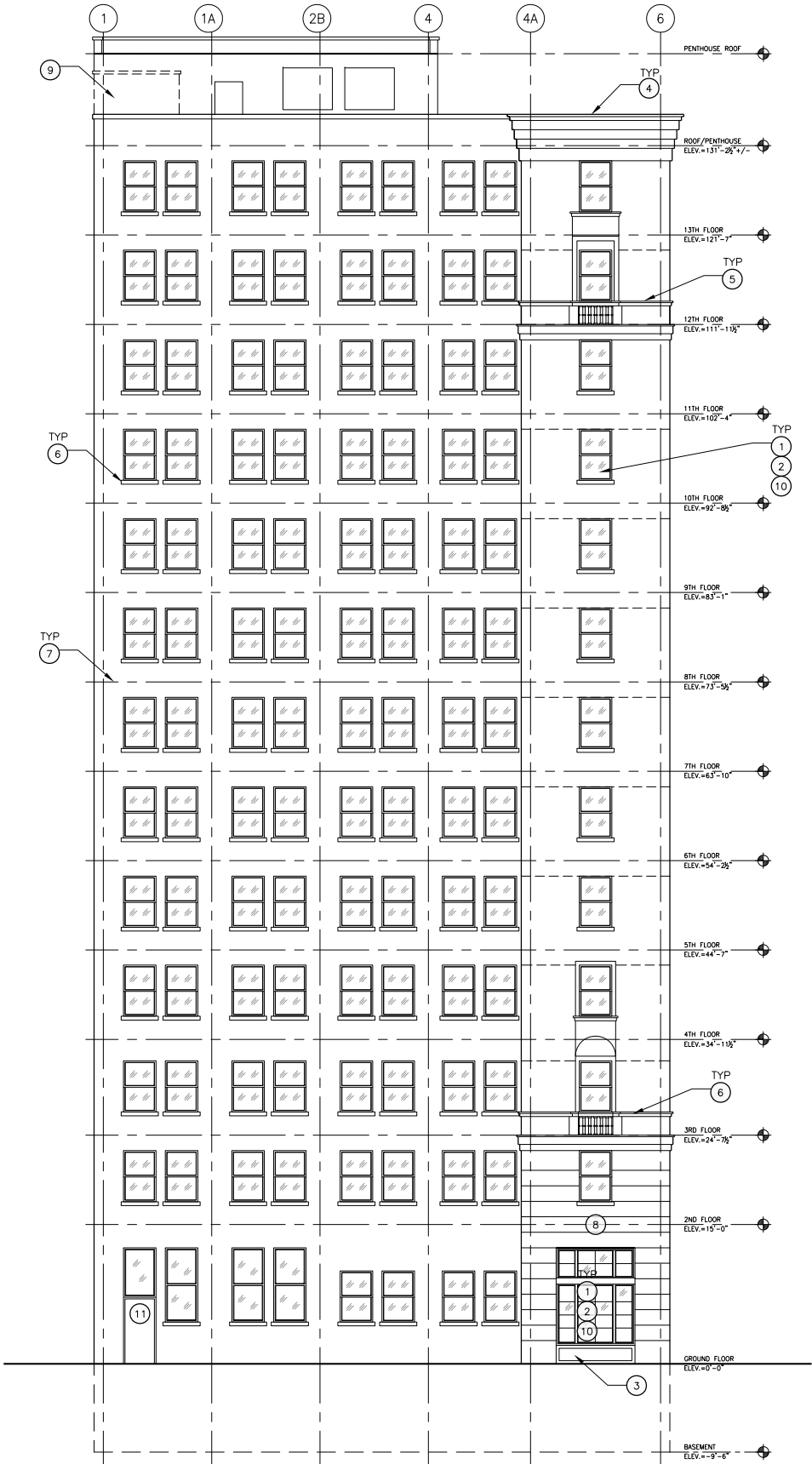
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1 WEST ELEVATION  
A203 SCALE: 1/8" = 1'-0"  
REFERENCE LOCATIONS:

## FINISH LEGEND

BR-1 BRICK— MATCH EXISTING SIZE, COURSING, TEXTURE, AND COLOR.

## CONSTRUCTION KEYNOTES

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- 9 LINE OF REMOVED CHIMNEY
- 10 NEW WINDOWS IN EXISTING OPENINGS.
- 11 NEW DOORS IN EXISTING OPENING.

## RESTORATION GENERAL NOTES

- A. ALL ELEVATIONS SHALL UNDERGO COMPLETE BRICK, STONE, AND TERRA COTTA CLEANING FROM PARAPET TO GRADE. SEE MASONRY CLEANING SPECIFICATION SECTIONS FOR DETAILS ON APPROVED CLEANING PROCEDURES, PRODUCTS, AND MANUFACTURERS.
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- F. INSPECT ALL TERRA COTTA UNITS FOR DAMAGE, SPALLING OR CRAZING.
- G. WHERE TERRA COTTA GLAZING HAS SPALLED AND THE CLAY SUBSTRATE IS IN GOOD CONDITION, COAT RAW CLAY WITH APPROVED BREATHABLE SEALER TO MATCH COLOR OF EXISTING GLAZING.
- H. WHERE TERRA COTTA UNITS HAVE SPALLED SIGNIFICANTLY, PATCH DAMAGED AREAS WITH APPROVED MASONRY REPAIR MORTAR AS REQUIRED BY DEPTH OF DAMAGED AREA. COAT PATCHED AREA WITH APPROVED BREATHABLE SEALER TO MATCH COLOR OF EXISTING GLAZING.
- I. WHERE TERRA COTTA HAS DETERIORATED BEYOND REPAIR, REMOVE AFFECTED TERRA COTTA UNITS AND PROVIDE NEW TERRA COTTA UNITS TO MATCH EXISTING PROFILE, COLOR AND FINISH.
- J. SEE TERRA COTTA RESTORATION SPECIFICATIONS FOR APPROVED RESTORATION PROCEDURES, PRODUCTS, AND MANUFACTURERS. ALL TERRA COTTA RESTORATION WORK SHALL MEET THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AS WELL AS ALL APPLICABLE NATIONAL PARK SERVICE TECHNICAL BRIEFS.

0 2' 4' 8' 16'  
SCALE : 1/8" =1'-0"

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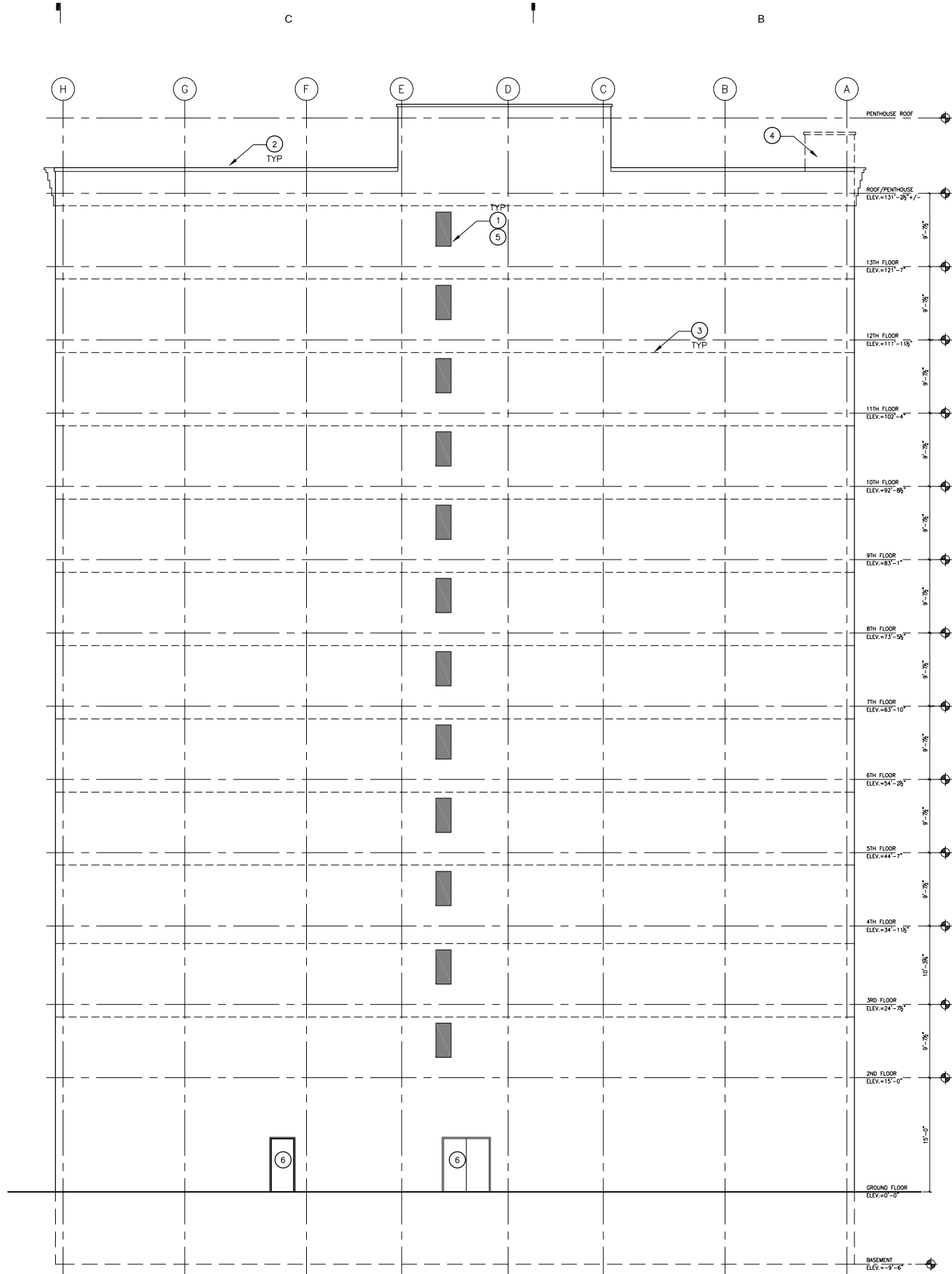
Date

Project Number 2014099

Sheet Title  
EXTERIOR  
ELEVATIONS

Sheet Number

A203



## FINISH LEGEND

BR-1 BRICK- MATCH EXISTING SIZE, COURSING, TEXTURE, AND COLOR.

## CONSTRUCTION KEYNOTES

- 1 REMOVE ALL EXISTING WOOD WINDOWS, COMPLETE.
- 2 REMOVE EXISTING METAL FLASHING FROM PARAPET. PREPARE PARAPET FOR NEW FLASHING INSTALLATION.
- 3 ALL EXISTING MORTAR JOINTS TO BE CLEANED AND REPOINTED. CUSTOM MORTAR COLOR TO MATCH EXISTING.
- 4 LINE OF REMOVED CHIMNEY
- 5 INFILL EXISTING OPENINGS AT REMOVED WINDOWS. TOOTH IN- MATCH EXISTING BRICK SIZE, COURSING, TEXTURE AND COLOR. CUSTOM MORTAR COLOR.
- 6 NEW OPENING IN EXISTING EXTERIOR WALL FOR NEW DOOR AND FRAME INSTALLATION.

## RESTORATION GENERAL NOTES

- A. ALL ELEVATIONS SHALL UNDERGO COMPLETE BRICK, STONE, AND TERRA COTTA CLEANING FROM PARAPET TO GRADE. SEE MASONRY CLEANING SPECIFICATION SECTIONS FOR DETAILS ON APPROVED CLEANING PROCEDURES, PRODUCTS, AND MANUFACTURERS.
- B. CLEAN FACADE USING GENTLEST MEANS POSSIBLE TO ACHIEVE SATISFACTORY RESULTS WITHOUT CHANGING THE SURFACE OF THE MASONRY. PAY SPECIAL ATTENTION TO AREAS OF EXCESSIVE SOILING. CONTRACTOR SHALL CONDUCT TEST PATCHES TO ENSURE THE BEST AND MOST ECONOMICAL MEANS OF CLEANING. ALL MASONRY AND TERRA COTTA CLEANING SHALL MEET THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AS WELL AS ALL APPLICABLE NATIONAL PARK SERVICE TECHNICAL BRIEFS.
- C. CLEAN ALL STONE THAT IS TO REMAIN & LET WEATHER FOR TWO WEEKS BEFORE ANY REPLACEMENT OR PATCHING IS TO OCCUR - REPLACEMENT STONE & PATCHED AREAS TO MATCH EXIST 'CLEANED' COLOR
- D. RESTORATION CONTRACTOR SHALL INSPECT ALL EXISTING MASONRY, INCLUDING BOTH SIDES OF PARAPET FULL HEIGHT, FOR STRUCTURAL STABILITY PRIOR TO BID. REINSPECT AFTER INITIAL CLEANING OF MASONRY.
- E. REPLACE/RESET LOOSE MASONRY UNITS AND REPOINT DAMAGED MORTAR JOINTS AS REQUIRED. IF NECESSARY, RECOMMEND FURTHER REHABILITATION TO ENSURE STABILITY OF EXTERIOR WALL AND PARAPET CONSTRUCTION. SEE MASONRY RESTORATION SPECIFICATIONS FOR DETAILS ON APPROVED RESTORATION PROCEDURES, PRODUCTS, AND MANUFACTURERS. ALL MASONRY RESTORATION WORK SHALL MEET THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AS WELL AS ALL APPLICABLE NATIONAL PARK SERVICE TECHNICAL BRIEFS.
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Sheet Title

EXTERIOR  
ELEVATIONS

Sheet Number

A204

0 2' 4' 8' 16'  
SCALE : 1/8" = 1'-0"





West Elevation

South Elevation

East Elevation







West Elevation

South Elevation

East Elevation





## Window Condition Photo Survey



Figure #1: Exterior, Primary Facades, SE Corner of Building. 11/26/14.

**Eddystone Hotel**  
100 Sproat St, Detroit, MI

## Window Condition Photo Survey



Figure #2: Exterior, Secondary West Façade on Alley. 11/26/14.



Figure #3: Exterior, Secondary West Façade on Alley. 11/26/14.

**Eddystone Hotel**  
100 Sproat St, Detroit, MI

## Window Condition Photo Survey



Figure #4: Exterior, Secondary North Façade at rear of building. 11/26/14.



Figure #5: Exterior, Secondary North Façade, close up view of masonry damage. 11/26/14.

**Eddystone Hotel**  
100 Sproat St, Detroit, MI



## Window Condition Photo Survey



Figure #6: Floor 4, View of large windows at NW corner, Looking West. 11/26/14.



Figure #7: Floor 4, View of windows at SW corner, Looking West. 11/26/14.

**Eddystone Hotel**  
100 Sproat St, Detroit, MI

## Window Condition Photo Survey



Figure #8: Floor 5, View window at east facade, Looking East. 11/26/14.

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100 Sproat St, Detroit, MI

## Window Condition Photo Survey



Figure #9: Floor 5, View window at west façade, Looking West. 11/26/14.  
Lower sash is missing; Upper sash has dropped down

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## Window Condition Photo Survey



Figure #10: Floor 5, View of windows at east facade, Looking East. 11/26/14.  
Lower sashes are missing. Upper sashes are severely damaged and missing glazing and sash components



Figure #11: Floor 11, View of windows at S facade, Looking SW. 11/26/14.  
Lower sashes are missing. Upper sashes are severely damaged with missing glazing and sash components

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100 Sproat St, Detroit, MI

## Window Condition Photo Survey



Figure #12: Floor 11, View of windows at South facade, Looking South. 11/26/14.  
Multiple sashes are missing. Upper sash is severely damaged.



Figure #13: Floor 11, View of windows at West facade, Looking West. 11/26/14.  
Window on right has been completely removed, including all frame components

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100 Sproat St, Detroit, MI



## Window Condition Photo Survey



Figure #14: Floor 12, View of windows at South facade, Looking South. 11/26/14.  
Lower sashes are missing. Upper sashes are severely damaged.



Figure #15: Floor 12, View of windows at S facade, Close up. 11/26/14.  
Remaining frame components and balance pockets are in very poor condition.

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100 Sproat St, Detroit, MI

## Window Condition Photo Survey



Figure #16: Exterior, East Facade, Photo taken in 2001 prior to current ownership.

### **Eddystone Hotel** 100 Sproat St, Detroit, MI



Historic photo of the Eddystone Hotel – 1920's

Eddystone Hotel  
100-118 Sproat Street





Historic photo of the Eddystone Hotel – 1920's

Eddystone Hotel  
100-118 Sproat Street



1937 historic photo of Eddystone Hotel.



1930's historic photo of Eddystone Hotel.

Eddystone Hotel  
100-118 Sproat Street





Photo taken by Greg Kacir, July 21, 2001

Eddystone Hotel  
100-118 Sproat Street